



Pre-Purchase Standard Property & Timber Pest Report

9 Ruthenberg Street Lowood 4311 Queensland Australia

**Pre-Purchase Building & Timber Pest Inspection - RSA - Pre-Purchase Standard
Property & Timber Pest Report - Combined**

15 Jun 2023

Report number:	ABP01341
Inspection Date:	15 Jun 2023
Property Address	9 Ruthenberg Street Lowood 4311 Queensland Australia

Service

As requested and agreed with the Client, the inspection carried out by the Building Consultant and Timber Pest Detection Consultant is a Standard Property & Timber Pest Report comprising a Property Report and a Timber Pest Report.

"Client" means the person or persons, for whom the Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained).

"Building Consultant" means a person, business or company who is qualified and experienced to undertake a pre-purchase inspection in accordance with Australian Standard AS 4349.1-2007 'Inspection of Buildings. Part 1: Pre-Purchase Inspections - Residential Buildings'. The consultant must also meet any Government licensing requirement, where applicable.

"Timber Pest Detection Consultant" means person who meets the minimum skills requirement set out in the current Australian Standard AS 4349.3 Inspections of Buildings. Part 3: Timber Pest Inspection Reports or state/territory legislation requirements beyond this Standard, where applicable.

This Standard Property & Timber Pest Report was produced for the exclusive use of the Client. The consultant, their company or firm is not liable for any reliance placed on this report by any third party.

Terms on which this report was prepared

Property report

PURPOSE OF INSPECTION The purpose of this inspection is to provide advice to the Client regarding the condition of the Building & Site at the time of inspection.

SCOPE OF INSPECTION This Report only covers or deals with any evidence of: Structural Damage; Conditions Conducive to Structural Damage; any Major Defect in the condition of Secondary Elements and Finishing Elements; collective (but not individual) Minor Defects; and any Serious Safety Hazard discernible at the time of inspection. The inspection is limited to the Readily Accessible Areas of the Building & Site (see Note below) and is based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

"Structural Damage" means a significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

- (a) Structural Cracking and Movement - major (full depth) cracking forming in Primary Elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs.
- (b) Deformation - an abnormal change of shape of Primary Elements resulting from the application of load(s).
- (c) Dampness - the presence of moisture within the building, which is causing consequential damage to Primary Elements.
- (d) Structural Timber Pest Damage - structural failure, i.e. an obvious weak spot, deformation or even collapse of timber Primary Elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay; wood borers; and termites.

"Structure" means the loadbearing part of the building, comprising the Primary Elements.

"Primary Elements" means those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams or columns. The term 'Primary Elements' also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

"Conditions Conducive to Structural Damage" means noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

"Major Defect" means defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

"Secondary Elements" means those parts of the building not providing loadbearing capacity to the Structure, or those non-essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-loadbearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.

"Finishing Elements" means the fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint. The term 'Finishing Elements' does not include furniture or soft floor coverings such as carpet and lino.

"Minor Defect" means defect other than a Major Defect.

"Serious Safety Hazard" means any item that may constitute an immediate or imminent risk to life, health or property. Occupational, health and safety or any other consequence of these hazards has not been assessed.

"Tests" means where appropriate the carrying out of tests using the following procedures and instruments:

(a) Dampness Tests - additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to damp problems. Instrument testing using electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed

(b) Physical Tests - the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall plaster.

ACCEPTANCE CRITERIA The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Unless noted in "Special Conditions or Instructions", the Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. The Report therefore cannot deal with:

(a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and

(b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which the Report was based please discuss your concerns with the Consultant on receipt of the Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

LIMITATIONS

The Client acknowledges:

1. 'Visual only' inspections are not recommended. A visual only inspection may be of limited use to the Client. In addition to a visual inspection, to thoroughly inspect the Readily Accessible Areas of the property requires the Consultant to carry out when ever necessary appropriate Tests.
2. This Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).
3. This Report does not include the inspection and assessment of items or matters that do not fall within the Consultant's direct

expertise.

4. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
5. Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future.
6. This Report was produced for the use of the Client. The Consultant is not liable for any reliance placed on this report by any third party.

EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any individual Minor Defect;
- (ii) solving or providing costs for any rectification or repair work;
- (iii) the structural design or adequacy of any element of construction;
- (iv) detection of wood destroying insects such as termites and wood borers;
- (v) the operation of fireplaces and chimneys;
- (vi) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (vii) lighting or energy efficiency;
- (viii) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- (ix) any appliances such as dishwashers, insinkers, ovens, stoves and ducted vacuum systems;
- (x) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (xi) a review of environmental or health or biological risks such as toxic mould;
- (xii) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (xiii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone; ; and
- (xiv) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.

TIMBER PEST REPORT

PURPOSE The purpose of this inspection is to assist the Client to identify and understand any Timber Pest issues observed at the time of inspection.

SCOPE OF INSPECTION This Report only deals with the detection or non detection of Timber Pest Attack and Conditions Conducive to Timber Pest Attack discernible at the time of inspection. The inspection was limited to the Readily Accessible Areas of the Building & Site (see Note below) and was based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

"Timber Pest Attack" means Timber Pest Activity and/or Timber Pest Damage.

"Timber Pest Activity" means telltale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection.

"Timber Pest Damage" means noticeable impairments to the integrity of timber and other susceptible materials resulting from attack by Timber Pests.

"Major Safety Hazard" Any item that may constitute an immediate or imminent risk to life, health or property resulting directly from Timber Pest Attack. Occupational, health and safety or any other consequence of these hazards has not been assessed.

"Conditions Conducive to Timber Pest Attack" means noticeable building deficiencies or environmental factors that may contribute to the presence of Timber Pests.

"Timber Pests" means one or more of the following wood destroying agents which attack timber in service and affect its structural properties:

(a) Chemical Delignification - the breakdown of timber through chemical action.

(b) Fungal Decay - the microbiological degradation of timber caused by soft rot fungi and decay fungi, but does not include mould, which is a type of fungus that does not structurally damage wood.

(c) Wood Borers - wood destroying insects belonging to the order 'Coleoptera' which commonly attack seasoned timber.

(d) Termites - wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.

"Tests" means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to attack by Timber Pests. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

"Instrument Testing" means where appropriate the carrying out of Tests using the following techniques and instruments:

(a) electronic moisture detecting meter - an instrument used for assessing the moisture content of building elements;

(b) stethoscope - an instrument used to hear sounds made by termites within building elements;

(c) probing - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees; and

(d) sounding - a technique where timber is tapped with a solid object.

"Subterranean Termite Management Proposal" A written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.

ACCEPTANCE CRITERIA Unless noted in "Special Conditions or Instructions", the building being inspected was compared with a similar building. To the Consultant's knowledge the similar building used for comparison was constructed in accordance with generally accepted timber pest management practices and has since been maintained during all its life not to attract or support timber pest infestation.

Unless noted in "Special Conditions or Instructions", this Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. This Report therefore cannot deal with:

(a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and

(b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which this Report was based please discuss your concerns with the Consultant on receipt of this Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

LIMITATIONS

The Client acknowledges:

1. This Report does not include the inspection and assessment of matters outside the scope of the requested inspection and report.
2. The inspection only covered the Readily Accessible Areas of the Building and Site. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
3. The detection of drywood termites may be extremely difficult due to the small size of the colonies. No warranty of absence of these termites is given.
4. European House Borer (*Hylotrupes bajulus*) attack is difficult to detect in the early stages of infestation as the galleries of boring larvae rarely break through the affected timber surface. No warranty of absence of these borers is given. Regular inspections

including the carrying out of appropriate tests are required to help monitor susceptible timbers.

5. This is not a structural damage report. Neither is this a warranty as to the absence of Timber Pest Attack.
6. If the inspection was limited to any particular type(s) of timber pest (e.g. subterranean termites), then this would be the subject of a Special-Purpose Inspection Report, which is adequately specified.
7. This Report does not cover or deal with environmental risk assessment or biological risks not associated with Timber Pests (e.g. toxic mould) or occupational, health or safety issues. Such advice may be the subject of a Special-Purpose Inspection Report which is adequately specified and must be undertaken by an appropriately qualified inspector. The choice of such inspector is a matter for the Client.
8. This Report has been produced for the use of the Client. The Consultant or their firm or company are not liable for any reliance placed on this report by any third party.

EXCLUSIONS

The Client acknowledges that:

1. This Report does not deal with any timber pest preventative or treatment measures, or provide costs for the control, rectification or prevention of attack by timber pests. However, this additional information or advice may be the subject of a timber pest management proposal which is adequately specified.

Details

Special conditions or instructions

Special conditions or instructions There are no special conditions or instructions.

The parties

Name of Client: Lorraine Savage

Client's email: lorraine_savage_64@hotmail.com

General description of the property

The records of the appropriate local authority should be checked to determine or confirm:

- whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip or tidal inundation, or if it is flood prone;
- the status of the property and services (e.g. compliance of the building with the provisions of any building Act, code, regulation or by-laws); and
- whether council has issued a building certificate or other notice for the dwelling.

Where appropriate, legal advice (e.g. from a solicitor) should be sought to explain title and ownership matters and to deal with matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters.

Residential building type: Detached house

Number of storeys: Lowset.

Approximate building age: 35 years

Approximate year when the property was extended (if applicable): Not applicable

Smoke detectors: 3 fitted, but not tested

Siting of the building: Towards the front of a large block.

Gradient: The land is gently sloping.

Site drainage: The site appears to be adequately drained.

Access: Reasonable pedestrian and vehicular access

Main utility services: The following services were connected:

Electricity

Gas

Water

Septic tank

Solar panels

Occupancy status: Occupied and fully furnished

Orientation (to establish the way the property was viewed): The facade of the building faces south

Prevailing weather conditions at the time of inspection: Dry

Primary method of construction

Main building - floor construction: Suspended Timber Flooring

Main building - wall construction: Timber Cladding

Timber Frame

Main building - roof construction:	Metal Sheeting Roof
	Timber Framed
Other (timber) building elements:	Doors
	Reveals
	Architraves
	Skirtings
	Mouldings
	Facia/Barges
	Cabinets
	Flooring
Overall standard of construction:	Reasonable
Overall quality of workmanship and materials:	Reasonable
Level of maintenance:	Reasonably maintained
Incomplete Construction	

Was evidence of the original construction and any alterations or additions to the building not complete in the work synonymous with construction noted (but does not include building services)?	No evidence found
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Note. This is only a general observation/comment except where any part of the building structure is, or is likely to be, at risk due to this condition.

Accommodation & significant ancillaries

Room:

Room Type	Living rooms
Quantity	1
Room Type	Dining area
Quantity	1
Room Type	Bedrooms
Quantity	6
Room Type	Kitchen
Quantity	1
Room Type	Bathroom/Ensuite
Quantity	2
Room Type	Separate toilet
Quantity	1
Room Type	Laundry
Quantity	1
Room Type	Granny flat
Quantity	1
Room Type	Swim Pool*
Quantity	1

Parking spaces:

Type	Unattached Garage
Quantity	2
Type	Unattached Carport
Quantity	2

Accessibility

Unless noted in "Special Conditions or Instructions", the inspection only covered the Readily Accessible Areas of the Building & Site (see Note below).

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

"Readily Accessible Areas" means areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. The term 'readily accessible' also includes:

(a) accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the area is not more than 2 metres from a point with conforming clearance (i.e. 400 mm high by 600 mm wide); and

(b) areas at the eaves of accessible roof spaces that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

"Building & Site" means the inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries.

For the Timber Pest Report, the term "Building & Site" is extended to include the main building (or main buildings in the case of a building complex) and all timber structures (such as outbuildings, landscaping, retaining walls, fences, bridges, trees and stumps with a diameter greater than 100 mm and timber embedded in soil) and the land within the property boundaries up to a distance of 50 metres from the main building(s).

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Areas, which are not normally accessible, were not inspected and include - but not limited to - the interior of a flat roof or beneath a suspended floor filled with earth. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.

Areas inspected

The inspection covered the Readily Accessible Areas of the property	Building Interior
	Building Exterior
	Roof Exterior
	Roof Space
	Subfloor Space
	The site including fences

Strata or company title properties

Was the inspection of a strata or company title property (eg a home unit or townhouse)?	No
Was the inspection limited to assessing the interior or exterior of a particular unit?	No

Obstructions

Were there any obstructions that may conceal possible defects?	The following obstructions may conceal defects:
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Obstruction Photos

Photo of Obstruction



Comments on Obstructions:

Showing an example of furniture, floor covering, stored goods, walls, and ceiling linings

Photo of Obstruction



Comments on Obstructions:

Showing an example of cabinetry

Photo of Obstruction



Comments on Obstructions:

Showing an example of insulation

Photo of Obstruction



Comments on Obstructions:

Showing an example of stored goods

Photo of Obstruction



Comments on Obstructions:	Showing an example of solar panels
Inaccessible areas	
Were there any normally accessible areas that did not permit entry?	All normally accessible areas permitted entry
Undetected defect risk assessment	
Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected defects such as structural damage, conditions conducive to structural damage, timber pest attack and conditions conducive to timber pest attack was considered:	Moderate
Tick to add this comment into the report	<p>A further inspection is strongly recommended of areas that were not readily accessible, and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This may require the moving, lifting or removal of obstructions such as floor coverings, furniture, stored items foliage and insulation. In some instances, it may also require the removal of ceiling and wall linings, and the cutting of traps and access holes. For further advice consult the person who carried out this report.</p> <p>Recommend further inspection when access is gained to all areas</p> <p>Recommend further inspection once vacant and obstructions removed.</p>

Serious safety hazards

The following items and matters were reported on in accordance with the Scope of Inspection. For building elements not identified in this condition report, monitoring and normal maintenance must be carried out (see also Section G 'Important note').

As a matter of course, in the interests of safety, and inspection and assessment of the electrical and plumbing/gas installations should be carried out by a suitably qualified person.

D1 Serious safety hazards: Evidence of any item or matter (within the Consultant's expertise) that may constitute a present or imminent serious safety hazard:	The following evidence was found
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Safety Hazard Details

Serious Safety Hazard	Missing balustrades to parts. Recommend engaging a carpenter to install to reduce the risk of people falling.
Photo of Hazard	



Photo Comments

Showing missing balustrades

Serious Safety Hazard

Pool gate not self-latching. Safety Hazard.

Pool gate is not completed at the time of the inspection. Needs rectifying to reduce the risk of kids access to the pool area.

Photo of Hazard



Photo Comments

Showing pool fencing

Serious Safety Hazard

Pool decking is not completed at the time of the inspection. Needs rectifying to reduce the risk of people falling.

Photo of Hazard

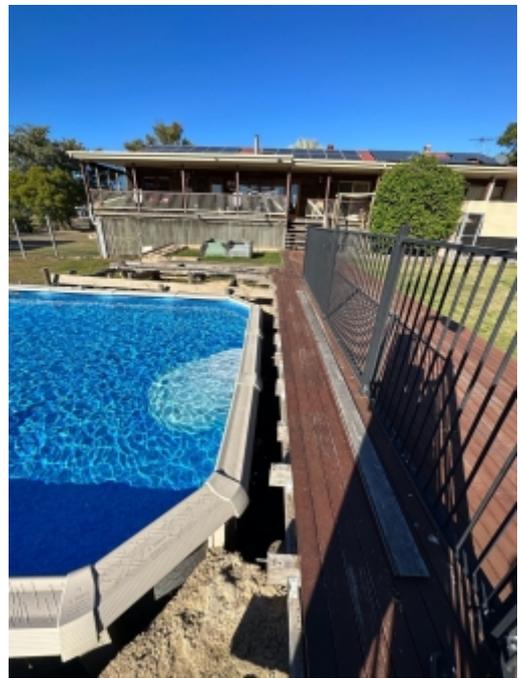


Photo Comments

Showing pool deck

Inside condition - major defects

Ceilings	No evidence of Major Defect was found
Internal Walls	The following evidence of Major Defects was found
Internal Wall Defects	
Detail of Major Defect	Movement Cracks to walls in separate locations, Recommend repair by engaging a Licensed Plasterer.
Photo(s) of Defect	

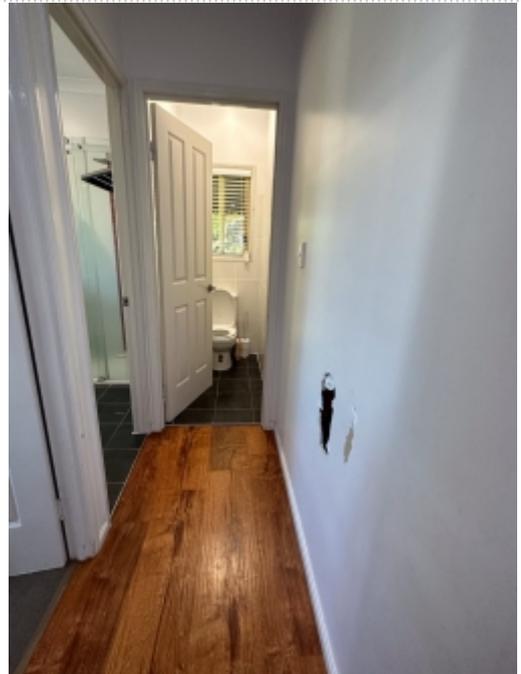




Detail of Major Defect

Damage to wall at hallway. Recommend engaging a plasterer to repair to prevent further deterioration.

Photo(s) of Defect



Detail of Major Defect

Moisture stains visible on the walls, recommend engaging a Builder to seal external walls and reduce risk of water leaks and penetration into the building

To rear side of the dining area near to the decking

Photo(s) of Defect

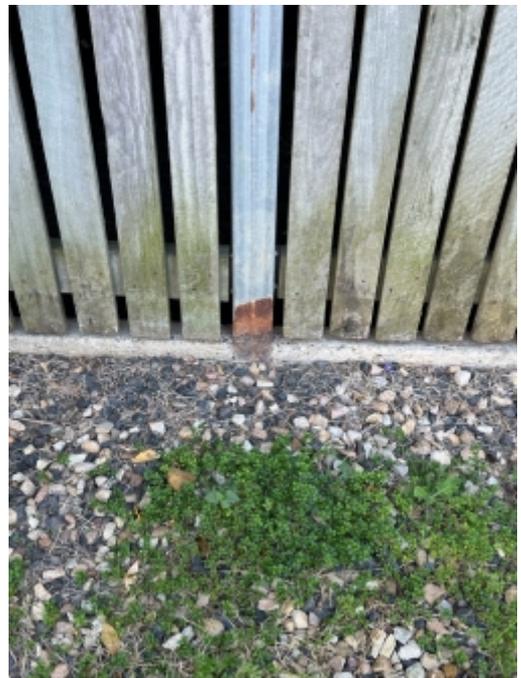


Floors	No evidence of Major Defect was found
Internal Joinery (e.g. doors, staircase, windows and all other woodwork, etc)	No evidence of Major Defect was found
Built-in fittings (built in kitchen and other fittings, not including the appliances)	No evidence of Major Defect was found
Bathroom fittings	The following evidence of Major Defects was found
Bathroom Fitting Defects	
Details of Major Defect	Cracked tiles and loose silicone/grout to parts of wet areas. Needs resealing properly to reduce the risk of water leaks and damage.
Photo(s) of Defect	





Other inside detail (e.g. fireplaces, chimney breasts and the outside of flues)	Not inspected due to construction design
Roof space	No evidence of Major Defect was found
Subfloor space	The following evidence of Major Defects was found
Subfloor Defects	
Details of Major Defect	<p>A few rusted metal posts- Recommend replace damaged posts, then applying Tar coating and installing a domed concrete surrounds to reduce the risk of ongoing rust and Corrosion.</p> <p>A few metal posts are covered by soil. Recommend removing the soil surrounding the posts and sealing the bottom of the posts above the ground level with a bituminous coating to reduce the risk of ongoing rust and corrosion.</p>
Photo(s) of Defect	





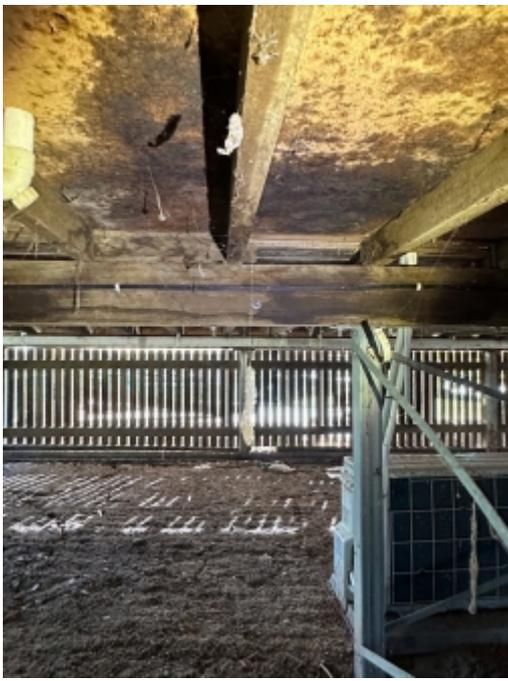
Details of Major Defect

It appears some plumbing fittings may be leaking. The presence of moisture was detected. There appear to be signs of dampness below on the ground. Recommend engaging a plumber to rectify to reduce the risk of termite attack and structural damage. Recommend the above be implemented as soon as possible.

Moisture staining to parts of flooring underneath the ensuite. Recommend engaging a builder/plumber for further inspection and advise on repairs to prevent further deterioration.

Photo(s) of Defect





Outside condition - major defects

External walls	No evidence of Major Defect was found
Windows	No evidence of Major Defect was found
External doors (including patio doors)	No evidence of Major Defect was found
Platforms (including verandahs, patios, decks and the like)	The following evidence of Major Defects was found

Platform Defects

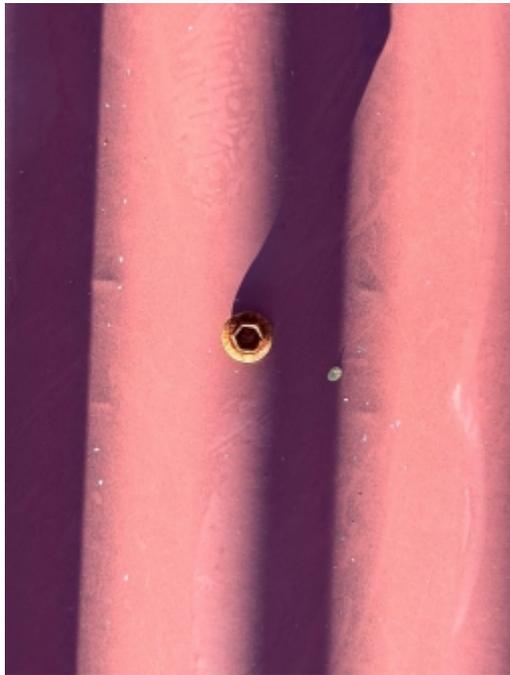
Details of Major Defect	Insufficient balustrades. Recommend engaging a Builder/Carpenter to rectify to reduce the risk of people falling.
Photo(s) of Defect	



Details of Major Defect	Wood rot to parts of framing. Recommend engaging a Builder/carpenter to repair/replace to prevent further deterioration.
Photo(s) of Defect	



Other external primary elements	No evidence of Major Defect was found
Other external secondary & finishing elements	No evidence of Major Defect was found
Roof exterior (including roof covering, penetrations, flashings)	The following evidence of Major Defects was found
Roof Exterior Defects	
Details of Major Defect	Rusting fixings to roof. Recommend engaging a roofing contractor/plumber to repair/replace fixings to reduce the risk of rust worsening and spreading.
Photo(s) of Defect	



Rainwater goods

The following evidence of Major Defects was found

Rainwater Defects

Details of Major Defect

Insufficient fall to gutters, gutter is holding water. Recommend engaging a plumber to rectify to reduce the risk of rust and water overflowing into the building.

To front side of the roofing

Photo(s) of Defect



The grounds	No evidence of Major Defect was found
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Walls & fences	No evidence of Major Defect was found
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Outbuildings	The following evidence of Major Defects was found
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Outbuilding Defects:

Details of Major Defect	Rust to parts of metal sheeting. Recommend engaging a builder to repair/replace as required to reduce the risk of further deterioration.
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	To granny flat external walls
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Photo(s) of Defect





Minor defects

D22 Minor defects: There are _____ Minor Defects. Monitoring and normal maintenance must be carried out (see also Section F 'Important note').

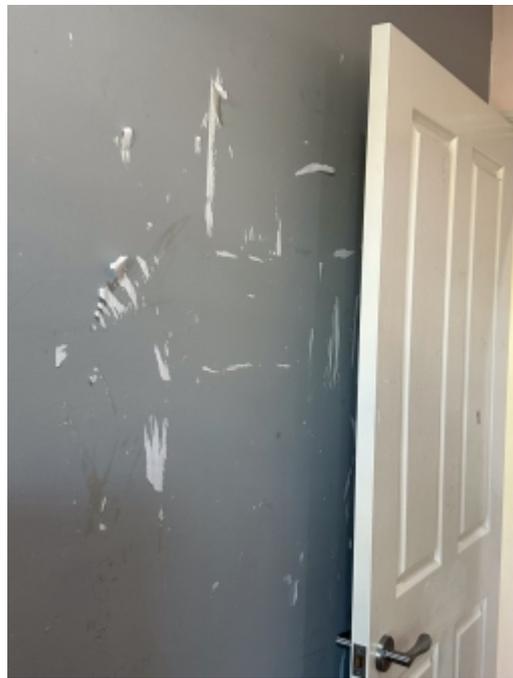
a few

Comments on Minor Defects

- Stuffing and chipping to parts needs pathcing
- Poorly painted/finished parts of the building
- Settlement/movement cracking to internal walls
- Settlement/movement cracking to cornices/ceilling
- Minor settlement/movement cracking to external walls
- Minor damage to parts
- Loose/missing laminate to cabinates
- A few exposed weathered timbers need painting
- A few flyscreens need repair/replacing
- A few doors need adjusting
- A few windows need adjusting
- A few sliding door rollers need repair/replacing
- Unpainted top and bottom of few doors at wet areas
- Staining to parts of ceiling at bathroom and ensuite needs cleaning

Minor Defect Photos

Photo



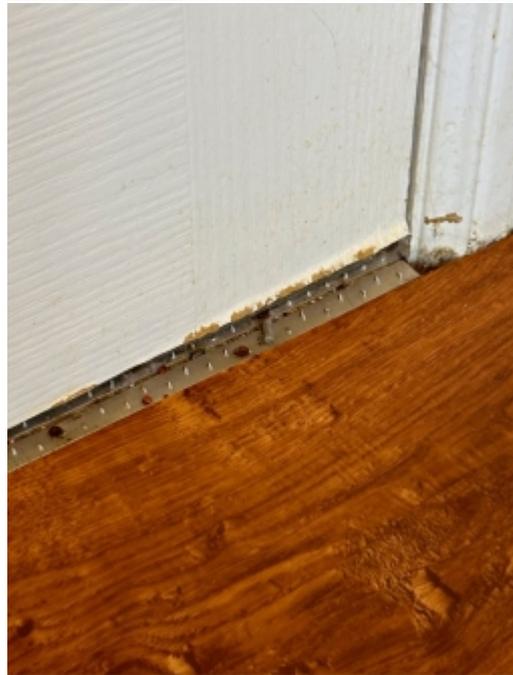




Photo Comments

Showing examples of paint issues, damages, scuffing and chipping throughout the property

Photo



Photo Comments

Showing examples of staining to parts of ceiling at bathroom and ensuite

Timber pest attack

The following items were reported on in accordance with the Scope of Inspection

E1 Active (live) termites	No evidence was found
E2 Subterranean termite management proposal	A Proposal is recommended
Additional Comments	Recommend installing a chemical termite barrier immediately to reduce the risk of termite entry into the building
E3 Termite workings and/or damage	No evidence was found
E4 Previous termite management program	No evidence was found.
E5 Frequency of future inspections: The next inspection to help detect termite attack is recommended in:	Monthly until a chemical termite barrier has been installed
E6 Chemical delignification	No evidence was found.

E7 Fungal decay

The following evidence was found:

The extent of any visible damage appears:

Localised

Fungal Decay Photos

Photo of Fungal Decay





Photo Comments	Showing examples of wood rot
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E8 Wood borers	No evidence was found.
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Conditions conducive to timber pest attack

The Consultant sought evidence of noticeable building deficiencies or environmental factors that may contribute to the presence of timber pests. In respect of moisture management issues, the inspection included the potential for or presence of water or dampness in unintended locations.

E9 Lack of adequate subfloor ventilation	No evidence was found
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E10 The presence of excessive moisture	No evidence was found
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E11 Bridging or breaching of termite barriers and inspection zones	The following evidence was found
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Additional Comments	Timbers in contact with ground - recommend exposing 75mm under timbers to allow for visual inspection zone and to prevent the risk of wood rot and termite attack
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Bridging Photos

Photo of Bridging



Photo Comments	Showing examples of timber in contact with ground to parts of subfloor batten screens
E12 Untreated or non-durable timber used in a hazardous environment	No evidence was found
E13 Other conditions conducive to timber pest attack	The following evidence was found
Additional Comments	Timber debris accumulated to gardens, eliminate any source of timber debris Garden beds and vegetation against external walls - recommend removing

Other Conducive Condition Photos

Photo of Other Conducive Conditions

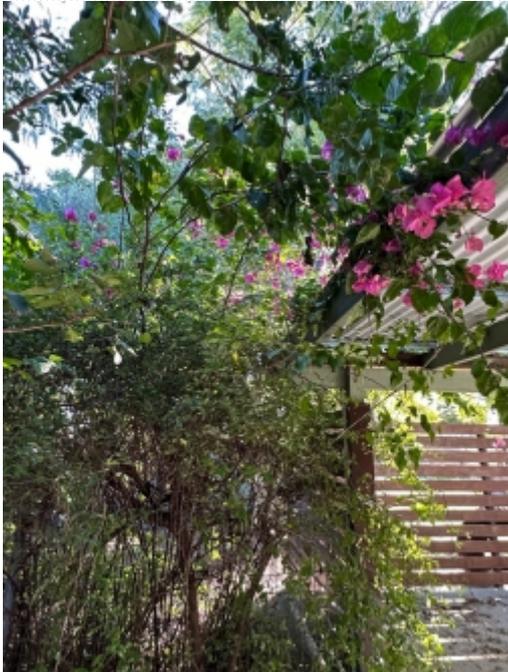


Photo Comments	Showing examples of tree branches against the granny flat
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Major safety hazards

The Consultant sought evidence of any item or matter (within the Consultant's expertise) that may constitute a present or imminent major safety hazard. For example, evidence of the imminent collapse of a structural member and other building elements made unsafe by timber pest attack.

E14 Major safety hazards	No evidence was found
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Property report summary

Your attention is drawn to the advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

In the opinion of this Consultant:

The incidence of Major Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Average
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The incidence of Minor Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Average
---	---------

In conclusion, following the inspection of surface work in the readily accessible areas of the property, the overall condition of the building relative to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Average
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In respect of significant items:

Evidence of Serious Safety Hazards	was observed - see Section D, Item D1
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Evidence of Major Defects	was observed - see Section D, Item D2 - D21
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Evidence of Minor Defects	was observed - see Section D, item D22
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Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected defects including structural damage and conditions conducive to structural damage was considered:	Moderate. See Section C for details
---	-------------------------------------

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

Ensure all joins to the wet areas are sealed to reduce the risk of water leaks and penetration.

Ensure all exposed timbers are painted/sealed to prevent the risk of deterioration

Ensure top and bottom edges of all doors been painted properly (Internal & External Doors - Including sliding cavity doors)

Ensure all taps penetration points (Shower, Rose head and Spout) at the wet areas been sealed properly

Timber pest report summary

The following Timber Pest remediation actions are recommended:

Treatment of Timber Pest Attack is required.	Yes, as detailed in Section E
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In addition to this Report a Subterranean Termite Management Proposal to help manage the risk of future subterranean termite access to buildings and structures is	Recommended - see Item E2
--	---------------------------

Removal of Conditions Conducive to Timber Pest Attack is necessary.	Yes, as detailed in Section E
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Due to the susceptibility of the property to sustaining Timber Pest Attack the next inspection is recommended	in 1 Month
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In respect of significant items:

Evidence of active (live) termites	was not found
Evidence of termite activity (including workings) and/or damage	was not found
Evidence of a possible previous termite management program	was not found
The next inspection to help detect any future termite attack is recommended in ____ months	1
Evidence of chemical delignification damage	was not found
Evidence of fungal decay activity and/or damage	was found - See Item E7
Evidence of wood borer activity and/or damage	was not found
Evidence of conditions conducive to timber pest attack	was found - See Items E9 - E13
Evidence of major safety hazards	was not found
Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected timber pest attack and conditions conducive to timber pest attack was considered	Moderate-High. See Section C for details

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

SECTION G IMPORTANT NOTES

PROPERTY REPORT - IMPORTANT NOTE

Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure. Please contact the Consultant who carried out this inspection for further advice.

TIMBER PEST REPORT - RISK MANAGEMENT OPTIONS

To help protect against financial loss, it is essential that the building owner immediately control or rectify any evidence of destructive timber pest activity or damage identified in this Report. The Client should further investigate any high risk area where access was not gained. It is strongly advised that appropriate steps be taken to remove, rectify or monitor any evidence of conditions conducive to timber pest attack.

To help minimise the risk of any future loss, the Client should consider whether the following options to further protect their investment against timber pest infestation are appropriate for their circumstances:

Undertake thorough regular inspections at intervals not exceeding twelve months or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack. To further reduce the risk of subterranean termite attack, implement a management program in accordance with Australian Standard AS 3660. This may include the installation of a monitoring and/or baiting system, or chemical and/or physical barrier. However, AS 3660 stresses that subterranean termites can bridge or breach barrier systems and inspection zones and that thorough regular inspections of the building are necessary.

If the Client has any queries or concerns regarding this Report, or the Client requires further information on a risk management program, please do not hesitate to contact the person who carried out this Inspection.

Annexures & Additional Comments

Additional comments	There are no additional comments
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Additional Inspections Recommended

Pool Safety Inspection

Electrical

Plumbing

Appliance Inspection

Air Conditioning

Council Compliance

Asbestos (if your house was built after 2003, it is unlikely that it would have any asbestos containing materials)

Fire Alarm/Smoke Alarm Technician

If, in the course of this report, any: Magnesite; and/or cracks and/or evidence of repaired cracks to:

- a) masonry construction,
- b) concrete slabs, or
- c) load-bearing walls are observed,

then We recommend a structural engineer be instructed to inspect and provide appropriate advice and recommendations.

Additionally, if, in the course of this report any External Timber Structures are observed (i.e. deck, balcony, pergola, etc.), We recommend that You conduct:

- a) a detailed analysis of the condition and structural stability of the External Timber Structure by a structural engineer;
- b) if people are likely to use the External Timber Structure, that care is taken not to overload the External Timber Structure.

Annexures to this report

The following are attached

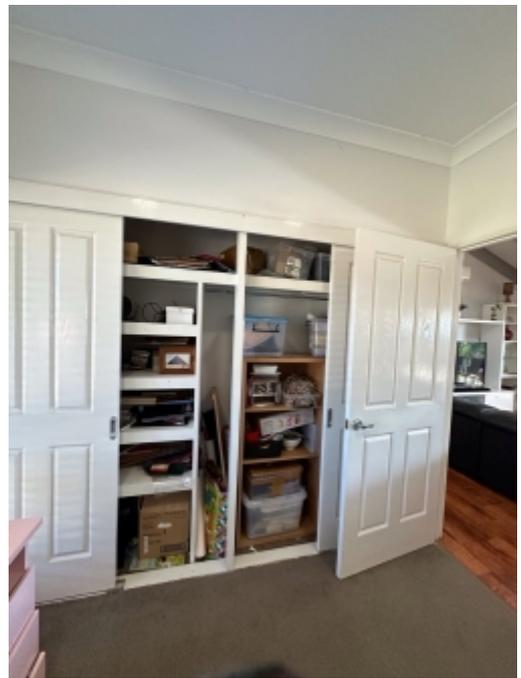
Comments on Annexures

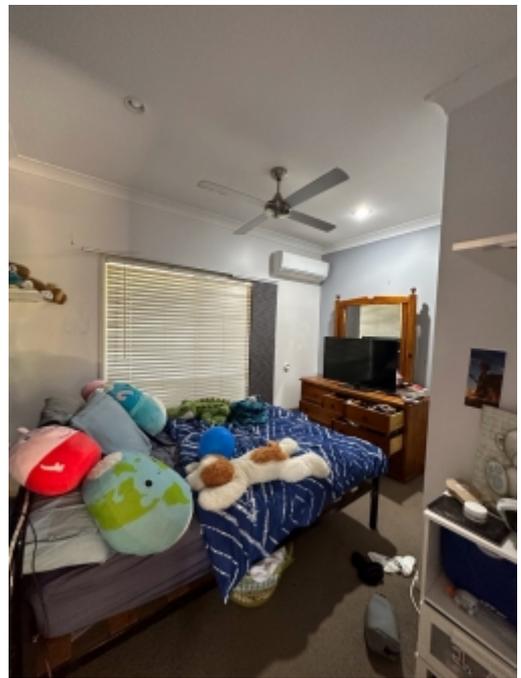
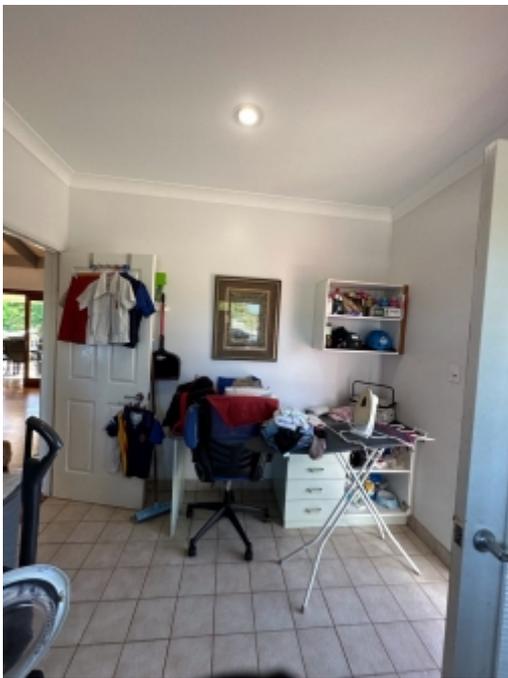
Pictures showing the property conditions at the time of the inspection. This may help identify possible obstructions throughout.

Annexure Photos

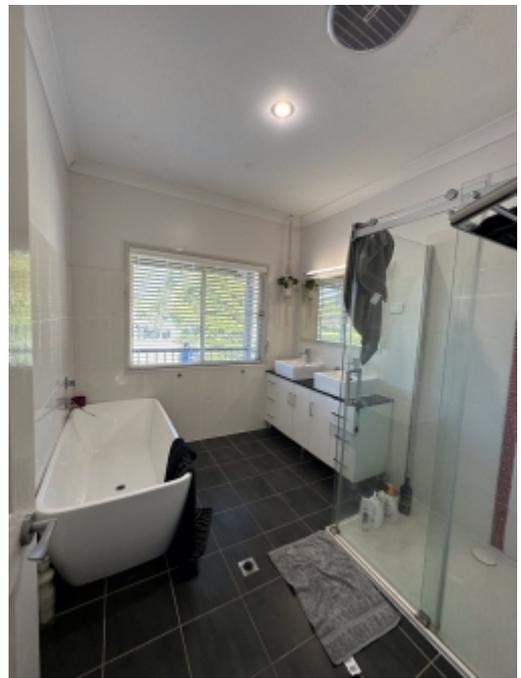
Photo

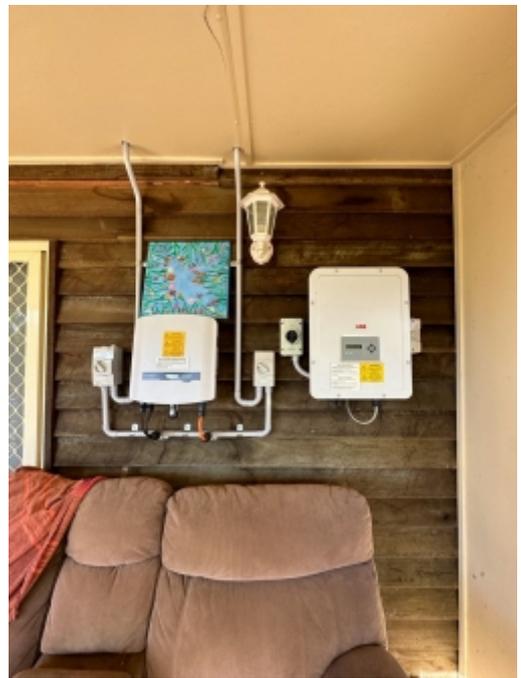


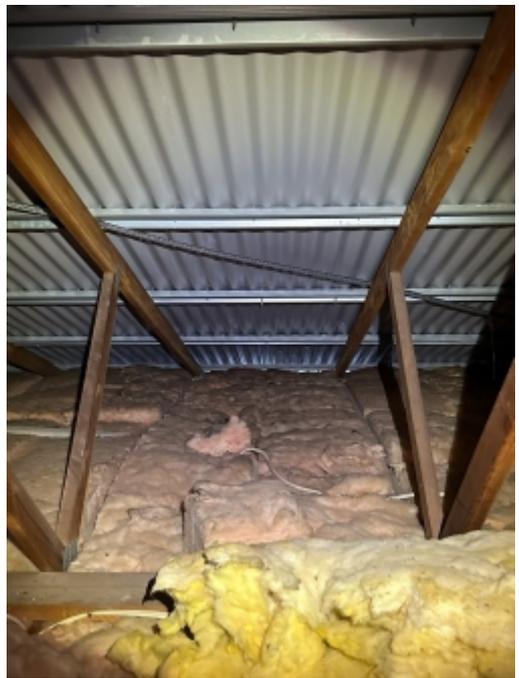


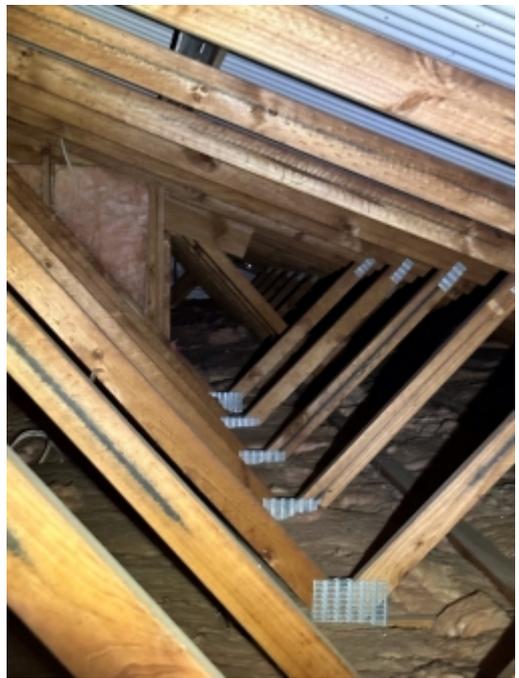


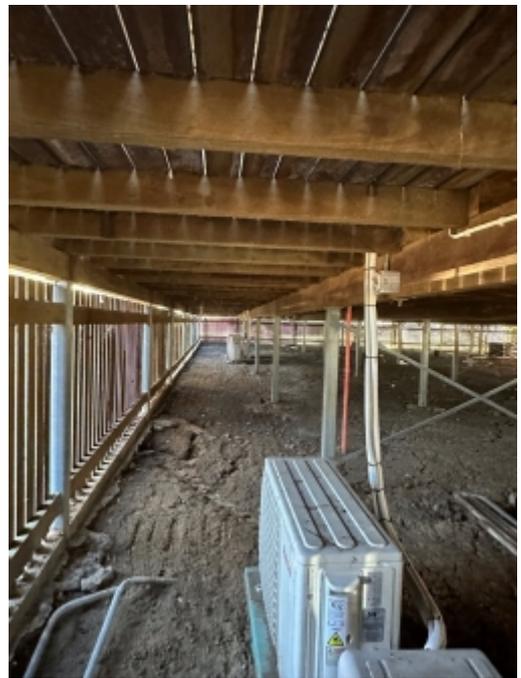


















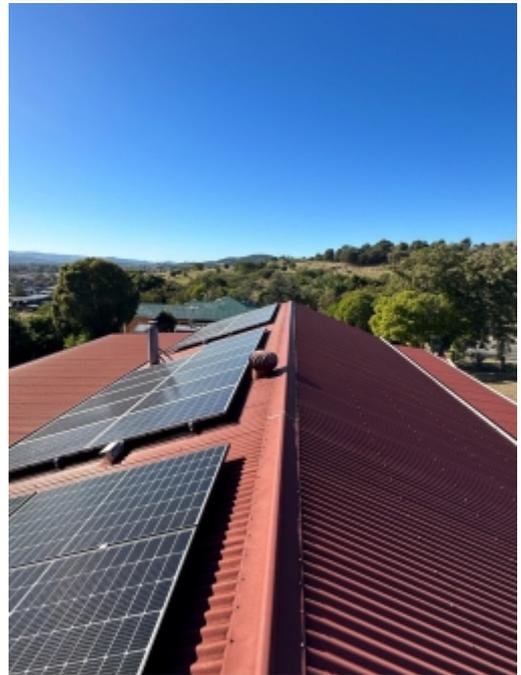
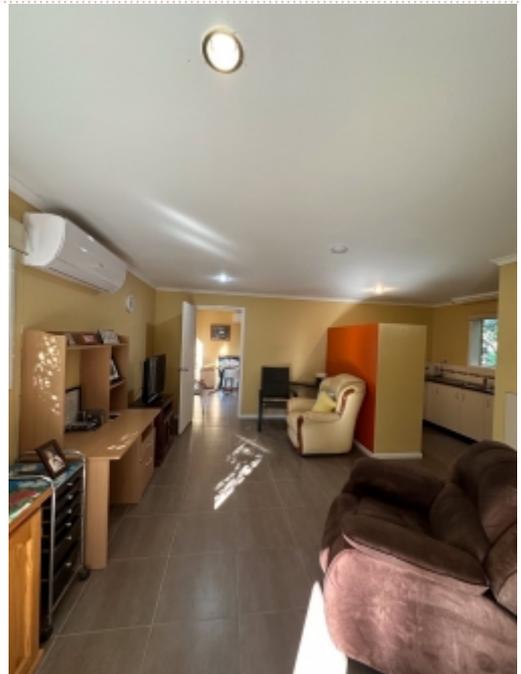




Photo Comments

Showing a general view of the property at the time of the inspection

Photo



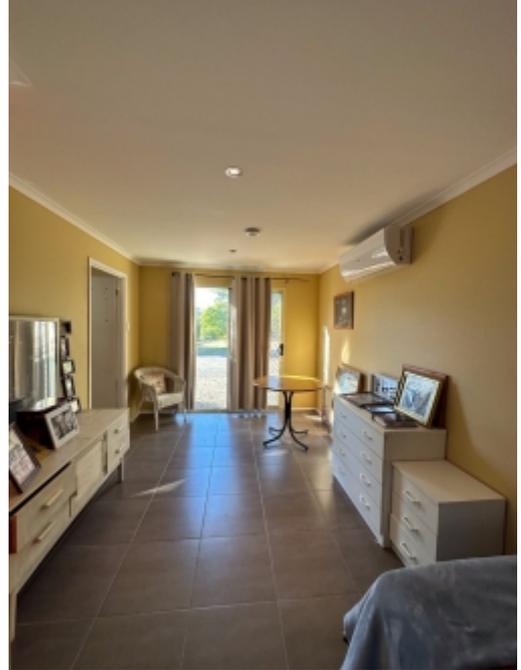




Photo Comments

Showing a general view of the granny flat at the time of the inspection

Photo

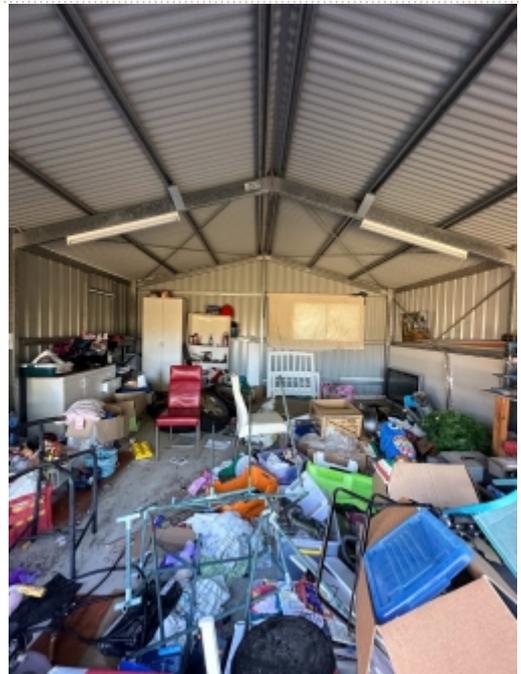


Photo Comments

Showing a general view of the shed at the time of the inspection

Photo

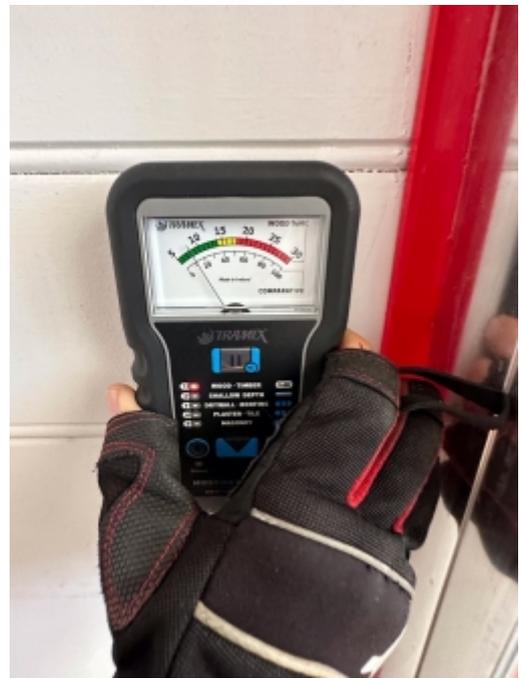


Photo Comments

Showing examples of moisture readings in the property that did not show a high moisture reading

Certification

This document certifies that the property described in this Report has been inspected by the Building Consultant & Timber Pest Detection Consultant in accordance with the level of service requested by the Client and the Terms and Conditions set out in this Report and in accordance with the current edition of the Report Systems Australia (RSA) Handbooks Standard Property Inspection Reports 'Uniform Inspection Guidelines for Building Consultants' & Timber Pest Detection Reports 'Uniform Inspection Guidelines for Timber Pest Detection Consultants'.

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Inspector's Signature:	
Date of Issue:	15 Jun 2023